

Community Development Division

Shed Structure – Approval Process and Building Guidelines

Revised: October 20, 2014

Preamble:

For the purpose of this document, the word “organization” will represent the two community groups that the City of Saskatoon may consider approving shed requests on public park land from. These community groups are: *Community Associations* and *Gardening Collectives* (who are in partnership with CHEP Good Food Inc.).

Purpose: The City of Saskatoon recognizes the importance of preserving optimum green space in communities for the enjoyment of all residents. However, with ever increasing programs and services offered by organizations, the need for a storage shed has become a necessity for some. This process and the standards identified in this document will be required for any organization requesting a storage shed (up to a maximum of 100 sq feet) structure to be built on City owned park property. Storage sheds larger than 100 sq feet will not be considered.

Process:

- 1) If storage is a concern for an organization, the first step is to ensure all existing storage options have been considered. Adjacent schools, private property and private storage providers may be a possible solution. Your Community Consultant may be able to assist you in determining what storage options are currently available in your neighbourhood.
- 2) If no suitable options are found, a written request can be made by the organization to the Community Services Department, Community Development Division asking if there is a suitable location for a year round storage facility on park property. Factors such as available park space, other building structures and programming within the park are all considered prior to approving shed requests. A preliminary check can be done in conjunction with the Community Consultant for the neighbourhood.
- 3) If the request is possible, an on-site meeting is held between the organization, Community Consultant, Parks and Facilities Divisions. This meeting will be to determine shed location, design, size and any other details that will need to be considered by the organization prior to investigate the project cost. The organization will also need to provide an aerial map (to scale) showing where the shed will be located. See **Site Considerations and Design Options** sections (further in this document) for a list of acceptable shed designs.
- 4) The Parks Division has final approval on the site location.

Community Development Division

Shed Structure – Approval Process and Building Guidelines

- 5) Before shed construction can begin, the organization must provide the City of Saskatoon, Community Development Division with the following information:
- a. *Property Insurance:* The organization must update their property insurance policy to include additional costs of the shed and its contents should it be damaged/destroyed. A copy of this updated policy must be provided to their Community Consultant.
 - b. *Land Use Agreement:* The organization must sign an agreement to cover the following:
 - i. The organization will be responsible to pay for any and all construction costs associated with building and placing the shed on park land. Should the shed need to be removed, the organization is responsible for any and all landscaping costs necessary to restore the park land to the condition it was in prior to the shed placement.
 - ii. The organization will cover any and all ongoing maintenance that may be required for the shed, including (but not limited to) any damages as a result of vandalism or deterioration.
 - iii. The City reserves the right to void the agreement and have the storage shed removed if terms of the agreement are not being met.

Copies of this Land Use Agreement will be provided to the Parks, Facilities, and Community Development Divisions

Site Considerations:

At your on-site meeting, picking the most suitable location for your shed can be a challenge. Factors to consider include:

- ✓ **Surface grade** – pick a location in the park so that it is not too steep, but will provide for natural drainage of water during heavy bouts of rainfall.
- ✓ **Nearby facilities** – consider whether you would like the shed to be near the rink, school, playground structure, or other amenities you may find in the park.

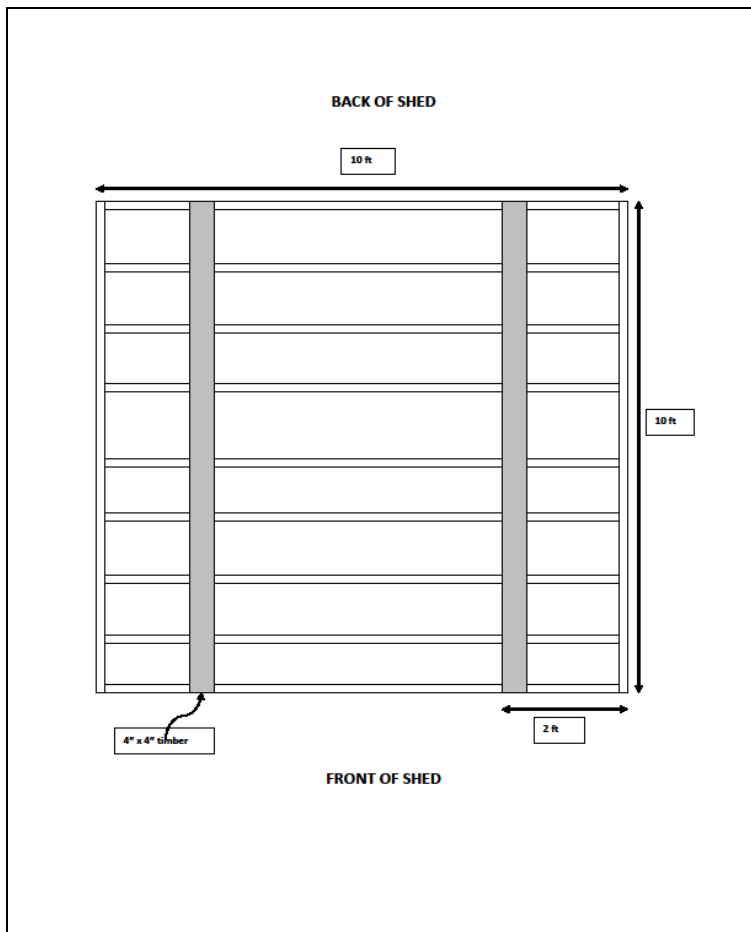
Community Development Division
Shed Structure – Approval Process and Building Guidelines

Surface Preparation and Material Selection:

- 1) **Utilities:** To ensure there are no utility or landscaping concerns that may affect where this shed is placed, the following “checks” are to be completed:
 - a) Organization – will contact local utility companies to ensure there are no underground utilities located below the placement site (1-866-828-4888; sask1stcall.com).
 - b) Parks Division – Shall investigate to ensure there are no landscaping or underground irrigation issues that may affect the placement site chosen.
 - c) Facilities Division – Shall ensure there are no concerns (from an operational or CPTED perspective) with the placement site chosen.
 - d) Requests to include utility services for the shed will be considered on a case by case basis only.

- 2) **Base:** The shed must be placed on skids. Skids will be pressure treated timbers of 4”X4” or 6”X6” in size. These may be placed directly onto the ground or on patio pavers.

Note: Timbers must be cut back so that skirting is flush vertically with the shed siding.



Community Development Division
Shed Structure – Approval Process and Building Guidelines

- 3) **Structure:** In addition to the design options available (next section), there are certain materials and considerations for the shed structure which need to be included when planning to build:
- a. *Roof* – material used will be either asphalt or metal (24 gauge or higher).
 - b. *Siding* – choosing a material that is both fire and graffiti resistant (recommended material: hardi board).
 - c. *Color* – color of siding and roof needs to be matched to any other City owned structures (recreation unit, sheds) near the proposed shed.
 - d. Windows/skylights – will not be permitted.
 - e. Skirting/fascia – this will be around the outer edge where the shed rests on skids. This skirting needs to be firmly in place to prevent access below the shed.

Design Options:

The organization may choose one of the three approved design options. It will be the responsibility of the organization to take the option(s) to a building supplies company for pricing (including construction costs).

BARN STYLE (Option 1)

Dimensions: 10X10 = 100 sq. feet

COMPONENT	DESCRIPTION	QUANTITY
Barn Arches	1- Back, 1 - Front, 7 - Centres	9
Floor – Plywood	5/8 Standard fir ply	4
Sheeting	3/8" O. S. B.	14
	1 x 4 x 10' 0" Spruce	4
	1 x 4 x 8' 0" Spruce	4
	2 x 4 x 8' 0" Spruce	4
Door	2 x 4 x 12' 0" Spruce (metal preferred)	3
	72" Piano hinge	1
	Miscellaneous nails 12 lbs.	
	Latch allowance	1
Siding/Roof	Hardi board (panel or other style) Siding/ asphalt or metal roof	

Community Development Division
Shed Structure – Approval Process and Building Guidelines

WALL AND TRUSS STYLE (Option 2)

Dimensions: 10X10 = 100 sq. feet

COMPONENT	DESCRIPTION	QUANTITY
Truss	10' 6" Truss T/C bearing	9
Floor - Plywood	5/8 Standard fir ply	4
Bottom Plate	2 x 4 P. W. F. 2 - 10' 0", 2 - 12' 0" (44 Lineal Feet)	6
Studs Walls	2 x 4 x 14' 0" Construction Spruce	18
Plates	2 x 4 x 12' 0" Construction Spruce	6
	2 x 4 x 10' 0" Construction Spruce	6
Sheeting	3/8" O. S. B.	15
	1 x 4 x 10' 0" Spruce	4
Door	2 x 4 x 12' 0" Spruce	3
	72" Piano hinge	1
	Miscellaneous nails 12 lbs.	
	Latch allowance	1
Siding/Roof	Hardi board (panel or other style) Siding/ asphalt or metal roof	

GABLE STYLE (Option 3)

Dimensions: 10X10 = 100 sq. feet

COMPONENT	DESCRIPTION	QUANTITY
Gable Arches	1 - Back, 1 - Front, 7 - Centre	9
Floor - Plywood	5/8" Standard fir ply	4
Sheeting	3/8" O. S. B.	15
	1 x 4 x 10' 0" Spruce	4
Door	2 x 4 x 12' 0" Spruce	3
	6' 0" Piano hinge	1
	Miscellaneous nails 12 lbs.	
	Latch allowance	1
Siding/Roof	Hardi board (panel or other style) Siding/ asphalt or metal roof	

Note:

- 1) All shed structures on City owned land must be no larger than 100 sq ft in size.
- 2) Designs are shown in 10'X10' dimensions, but could be in other configurations (i.e. 8'x12'; 7'X14', etc).

Community Development Division
Shed Structure – Approval Process and Building Guidelines

Shed Examples:

Hampton Village:



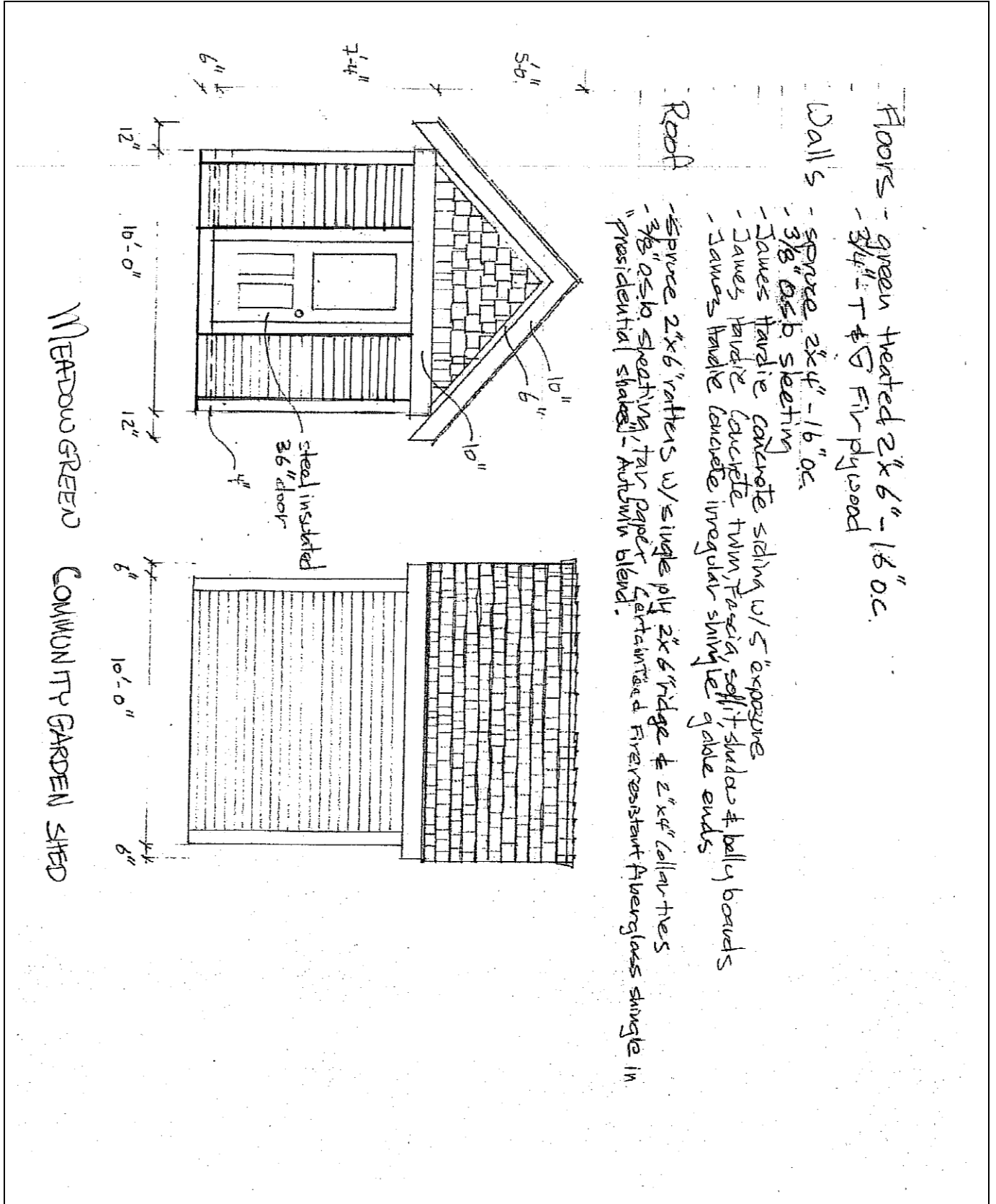
Greystone Heights:



Meadowgreen:



Community Development Division
Shed Structure – Approval Process and Building Guidelines

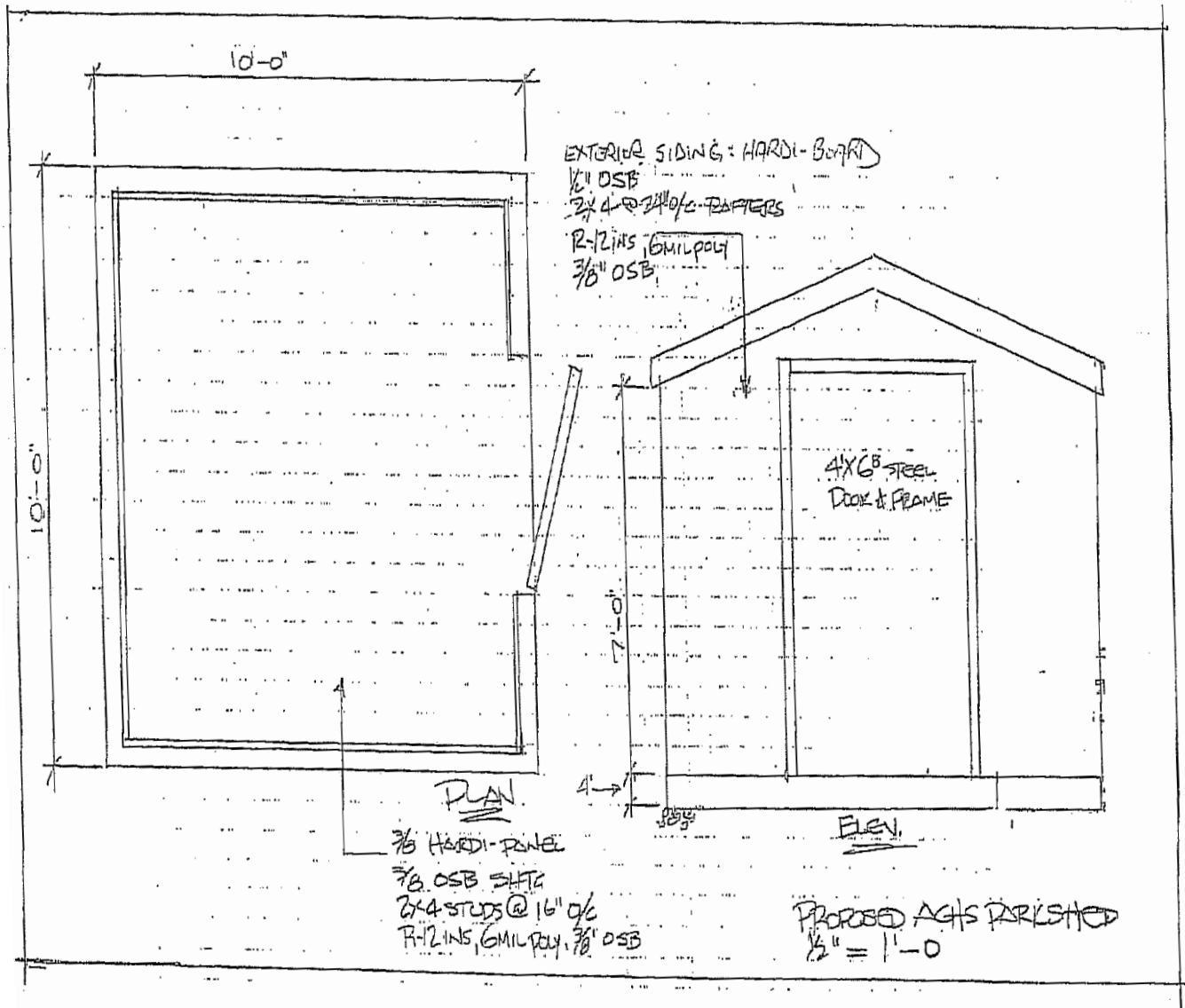


Community Development Division

Shed Structure – Approval Process and Building Guidelines


HAMPTON VILLAGE COMMUNITY ASSOCIATION

RINK SHACK PLANS ~ SUMMER 2013



Community Development Division

Shed Structure – Approval Process and Building Guidelines

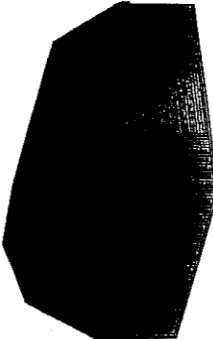


City of Saskatoon
Infrastructure Services Department
Facilities Services Branch
308-975-3300

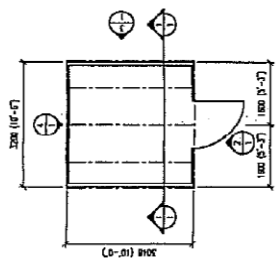
GENERAL NOTES:

- All drawings to be read in conjunction with the specifications.
- Dimensions are to outside unless otherwise noted.
- All dimensions are to outside unless otherwise noted.
- Verify site conditions and location of all utilities prior to the commencement of construction.
- Construction shall conform to the Conditions.
- Materials shall conform to the Conditions.
- If in doubt, ask.

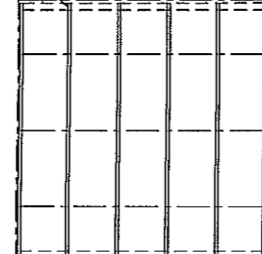
DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
DATE: []
SCALE: []
PROJECT NO: []
DATE: []
APPROVAL: []



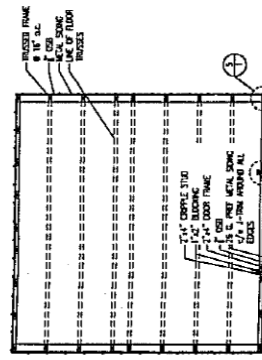
PERSPECTIVE VIEW
N.E.S.



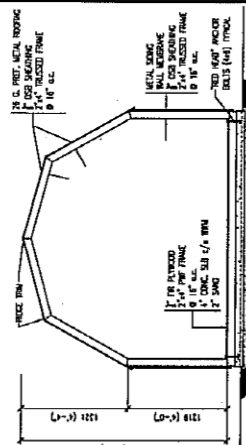
PLAN VIEW
1:100



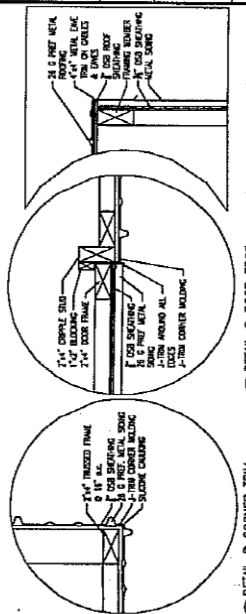
ROOF LAYOUT
1:50



FRAMING LAYOUT
1:50



BUILDING SECTION
1:50



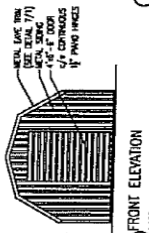
Typical Park Shed

Construction w/ Trussed Frame

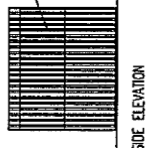
DETAIL @ CORNER TRIM
1:10

DETAIL @ DOOR EDGE
1:10

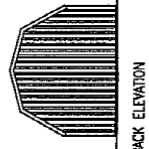
DETAIL @ EAVE/CABLE END
1:50



FRONT ELEVATION
1:100




SIDE ELEVATION
1:100



BACK ELEVATION
1:100

Community Development Division

Shed Structure – Approval Process and Building Guidelines



City of Saskatoon
Infrastructure Services Department

Facilities Services Branch
306-975-3300

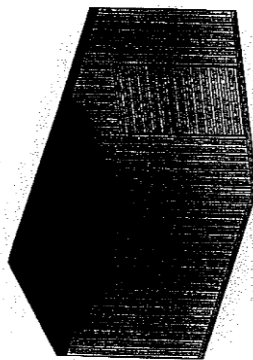
GENERAL NOTES:

- All drawings to be read in conjunction with the building code.
- Dimensions are not to be scaled.
- All dimensions are in millimeters unless otherwise noted.
- Verify site conditions and location of all utilities prior to the commencement of construction.
- Consult with appropriate authorities to the Consultant.
- If in doubt, ask.

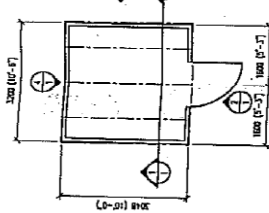
FILE:

DESIGNED BY: []
 DRAWN BY: []
 CHECKED BY: []
 REVISIONS BY: []
 SCALE: As Shown
 DATE: 02/01
 APPROVED: []

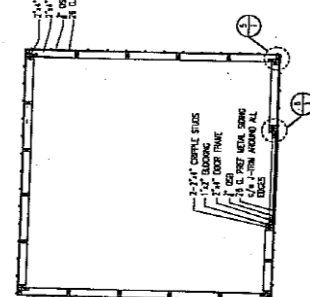
CONTRACTOR: []
 PROJECT NO.: []
 SHEET NO.: []
Typical Park Shed
 SHEET: **Opt. 3**



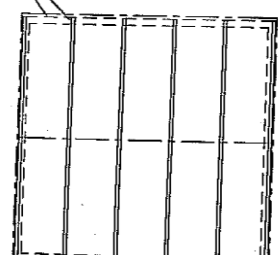
PERSPECTIVE VIEW
N.E.



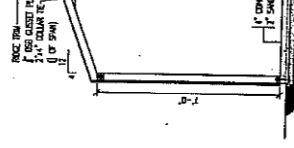
PLAN VIEW
1:100



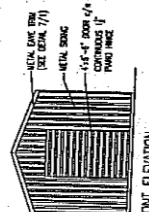
FRAMING LAYOUT
1:50



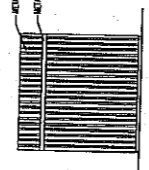
TRUSS LAYOUT
1:50



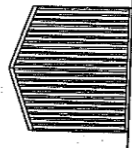
1 DETAIL @ CORNER TRIM
1:50



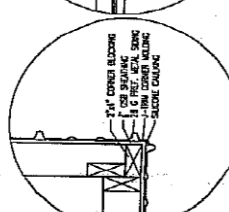
2 FRONT ELEVATION
1:100



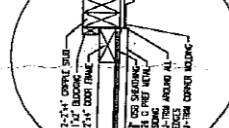
3 SIDE ELEVATION
1:100



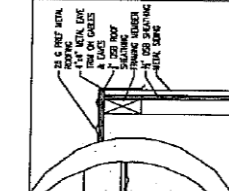
4 BACK ELEVATION
1:100



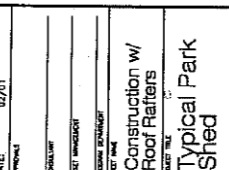
5 DETAIL @ CORNER TRIM
1:50



6 DETAIL @ DOOR EDGE
1:100

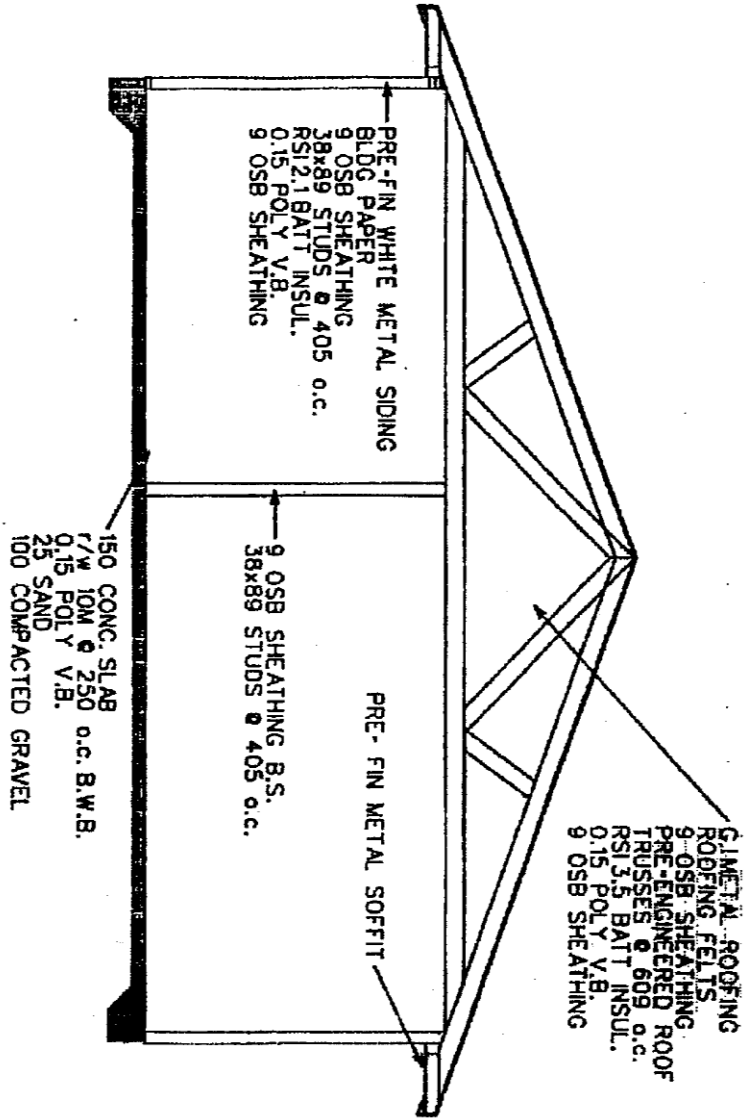


7 DETAIL @ EAVE/CABLE END
1:100



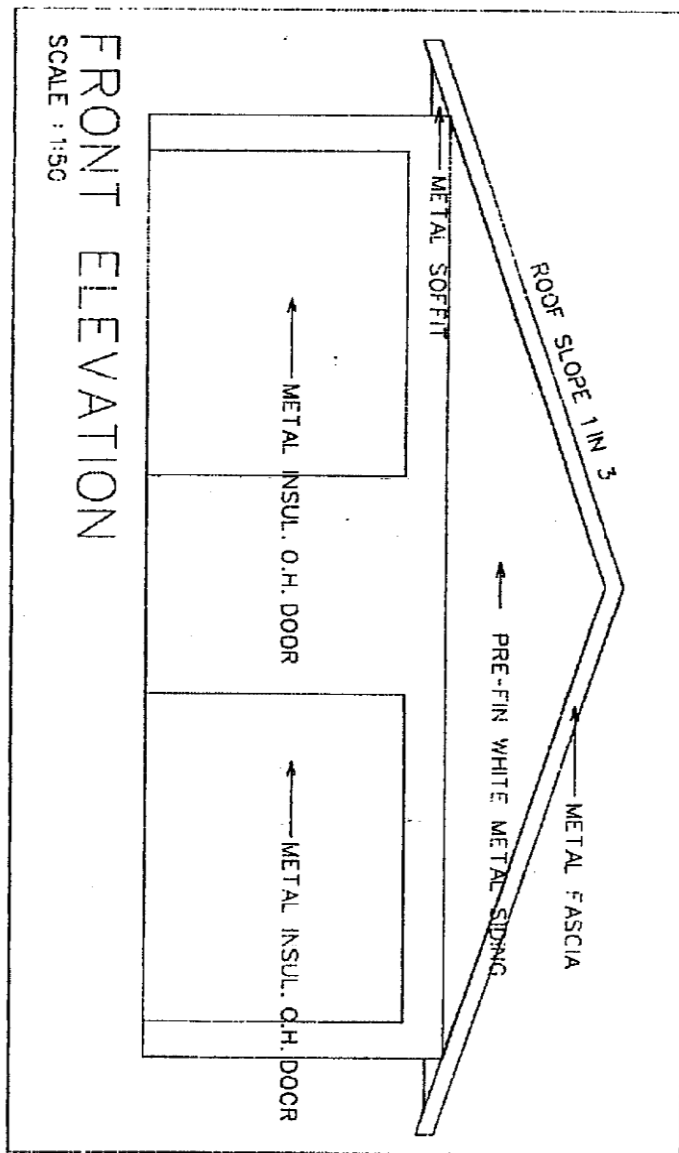
Construction w/ Roof Rafters

Community Development Division
 Shed Structure – Approval Process and Building Guidelines



BUILDING SECTION
 SCALE : 1:50

Community Development Division
Shed Structure – Approval Process and Building Guidelines



Community Development Division
Shed Structure – Approval Process and Building Guidelines

